



MY REAL ESTATE INSPECTORS

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RESIDENTIAL INSPECTION COPY

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SEPTEMBER 21, 2020



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TABLE OF CONTENTS

1: Inspection Detail	7
2: Roof	9
3: Exterior	18
4: Basement, Foundation, Crawlspace & Structure	40
5: Attic, Insulation & Ventilation	43
6: Heating	48
7: Cooling	51
8: Plumbing	52
9: Electrical	55
10: Master Bedroom	60
11: Bedroom 2	72
12: Bedroom 3	77
13: Bedroom 4	82
14: Bedroom 5	88
15: Bathroom 1	93
16: Bathroom 2	101
17: Bathroom 3	105
18: Dinning Room	109
19: Laundry	113
20: Kitchen	115
21: Living Room	125
22: Attached Garage	130

23: Hallway 139

Standard of Practice 141

My Real Estate Inspectors endeavors to perform all inspections in substantial compliance with the Standards of Practice of the International Association of Certified Home Inspectors (InterNACHI). As such, we inspect the readily accessible, visually observable, installed systems and components of a home as designated in the InterNACHI Standards of Practice. When systems or components designated in the InterNACHI Standards of Practice are present but are not inspected, the reason(s) the item was not inspected is identified within the "Limitations" tab of this report. This report contains observations of those systems and components that, in the professional judgement of the inspector, are not functioning properly, significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is at or near end of expected service life is reported, and recommendations for correction or monitoring are made as appropriate.

USE OF PHOTOS:

Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos.

SUMMARY

163

ITEMS INSPECTED

18

MINOR DEFECT

10

ACTION REQUIRED

- 🔧 3.3.1 Exterior - Wall-Covering, Flashing & Trim: Cracking - Minor
- 🔧 3.6.1 Exterior - Walkways & Driveways: Minor Cracking at Driveway
- 🔧 3.8.1 Exterior - Porches, Patios, Decks, Balconies & Carports: Deteriorated Condition at Deck
- 🔧 3.8.2 Exterior - Porches, Patios, Decks, Balconies & Carports: Worn Out Surfaces
- ⊖ 3.8.3 Exterior - Porches, Patios, Decks, Balconies & Carports: Damage at footing observed
- ⊖ 3.8.4 Exterior - Porches, Patios, Decks, Balconies & Carports: Observed Footing movement
- ⊖ 3.8.5 Exterior - Porches, Patios, Decks, Balconies & Carports: Crack on ceiling of front porch observed
- 🔧 3.11.1 Exterior - Exterior Doors: Door Hardware Damaged
- ⊖ 3.13.1 Exterior - Chimney: Gap between Flashing and roof covering observed
- 🔧
- 4.1.1 Basement, Foundation, Crawlspace & Structure - Under-Floor Crawlspace: Crack observed on foundation
- ⊖ 10.5.1 Master Bedroom - Walls: Minor Corner Cracks
- 🔧 10.5.2 Master Bedroom - Walls: Paint Cracking
- 🔧 12.3.1 Bedroom 3 - Windows: Minor corner cracks
- 🔧 13.3.1 Bedroom 4 - Windows: Minor Corner Cracks
- 🔧 14.5.1 Bedroom 5 - Walls: Minor Corner crack
- ⊖ 15.2.1 Bathroom 1 - Toilet: Minor corner cracks
- ⊖ 20.5.1 Kitchen - Dishwasher: Missing GFCI Protection
- ⊖ 20.5.2 Kitchen - Dishwasher: Did Not Drain Properly
- ⊖ 20.5.3 Kitchen - Dishwasher: Defect at Backflow Prevention
- 🔧 20.10.1 Kitchen - Floors, Walls, Ceilings: Minor Damage
- 🔧 21.4.1 Living Room - Floors: Damaged (General)
- 🔧 22.1.1 Attached Garage - Garage Floor: Minor stains observed in Garage floor
- 🔧 22.1.2 Attached Garage - Garage Floor: Garage door handle loose
- 🔧 22.2.1 Attached Garage - Garage Vehicle Door: Damage to Garage Door
- 🔧 22.4.1 Attached Garage - Electric in Garage: AFCI OPEN GROUND
- ⊖ 22.5.1 Attached Garage - Ceiling, Walls & Firewalls in Garage: Opening in Drywall Defect
- 🔧 22.5.2 Attached Garage - Ceiling, Walls & Firewalls in Garage: Minor crack observed in garage ceilings

 22.5.3 Attached Garage - Ceiling, Walls & Firewalls in Garage: Cracked wall adjacent to the Garage door

1: INSPECTION DETAIL

Information

General Inspection Info: Occupancy

Occupied

General Inspection Info: Weather Conditions

Sunny

General Inspection Info: Type of Building

Single Family

General Inspection Info: In Attendance

Client, Home Owner

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.

Your Job As a Homeowner: What Really Matters in a Home Inspection

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your InterNACHI Certified Professional Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

But the issues that really matter fall into four categories:

1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your InterNACHI Certified Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

Your Job As a Homeowner: Schedule a Home Maintenance Inspection



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

Schedule next year's maintenance inspection with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

2: ROOF

		IN	NI	NP	R
2.1	Roof Covering	X			
2.2	Flashing	X			
2.3	Plumbing Vent Pipes	X			
2.4	Gutters & Downspouts	X			
2.5	Chimney	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

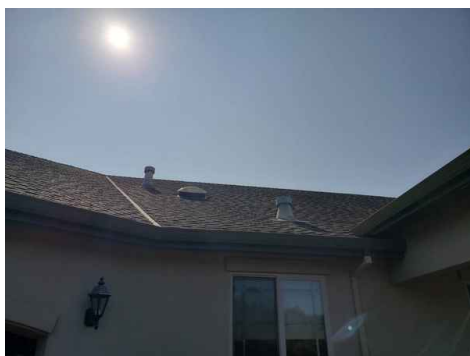
Information

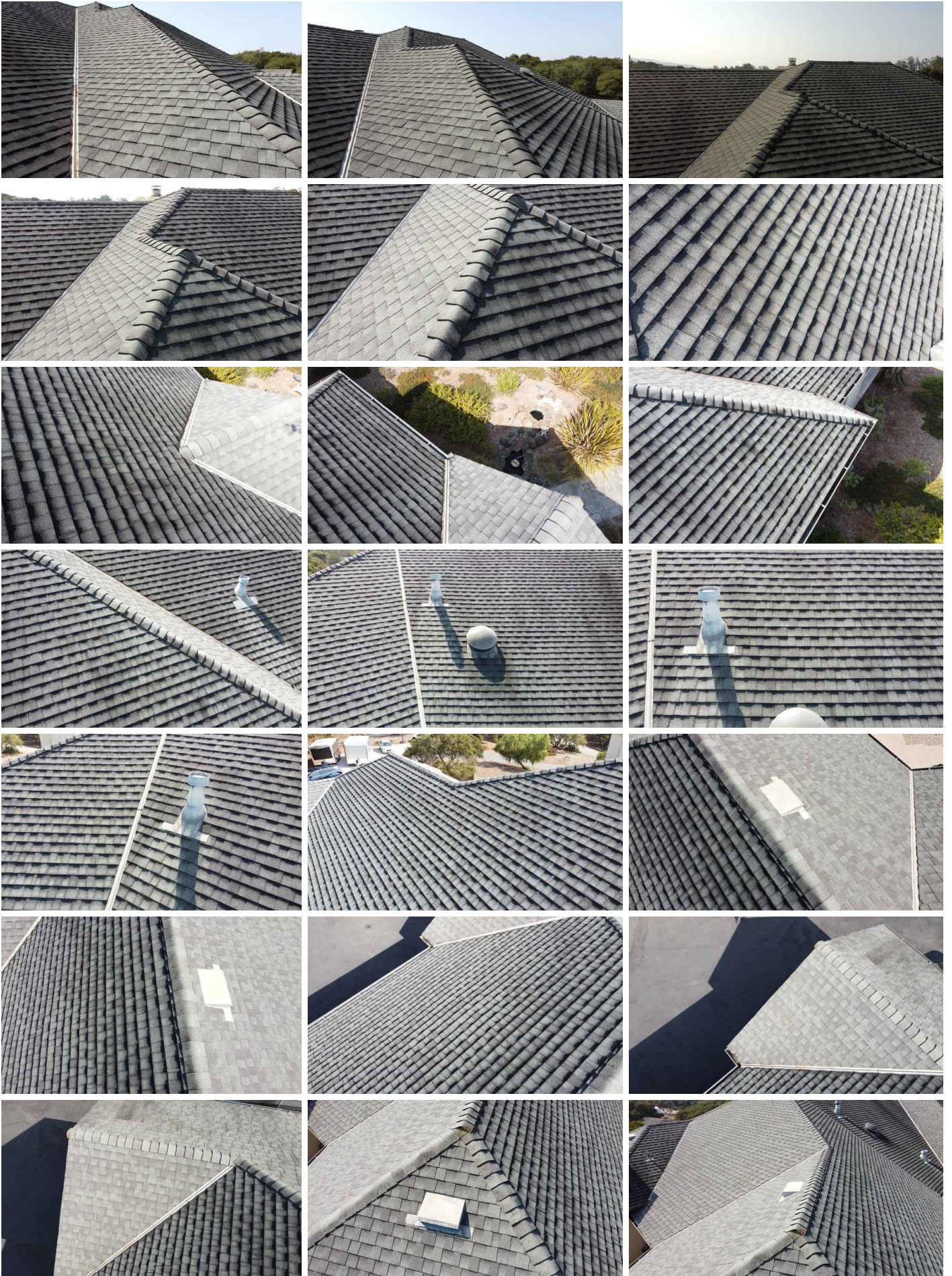
Roof Covering: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

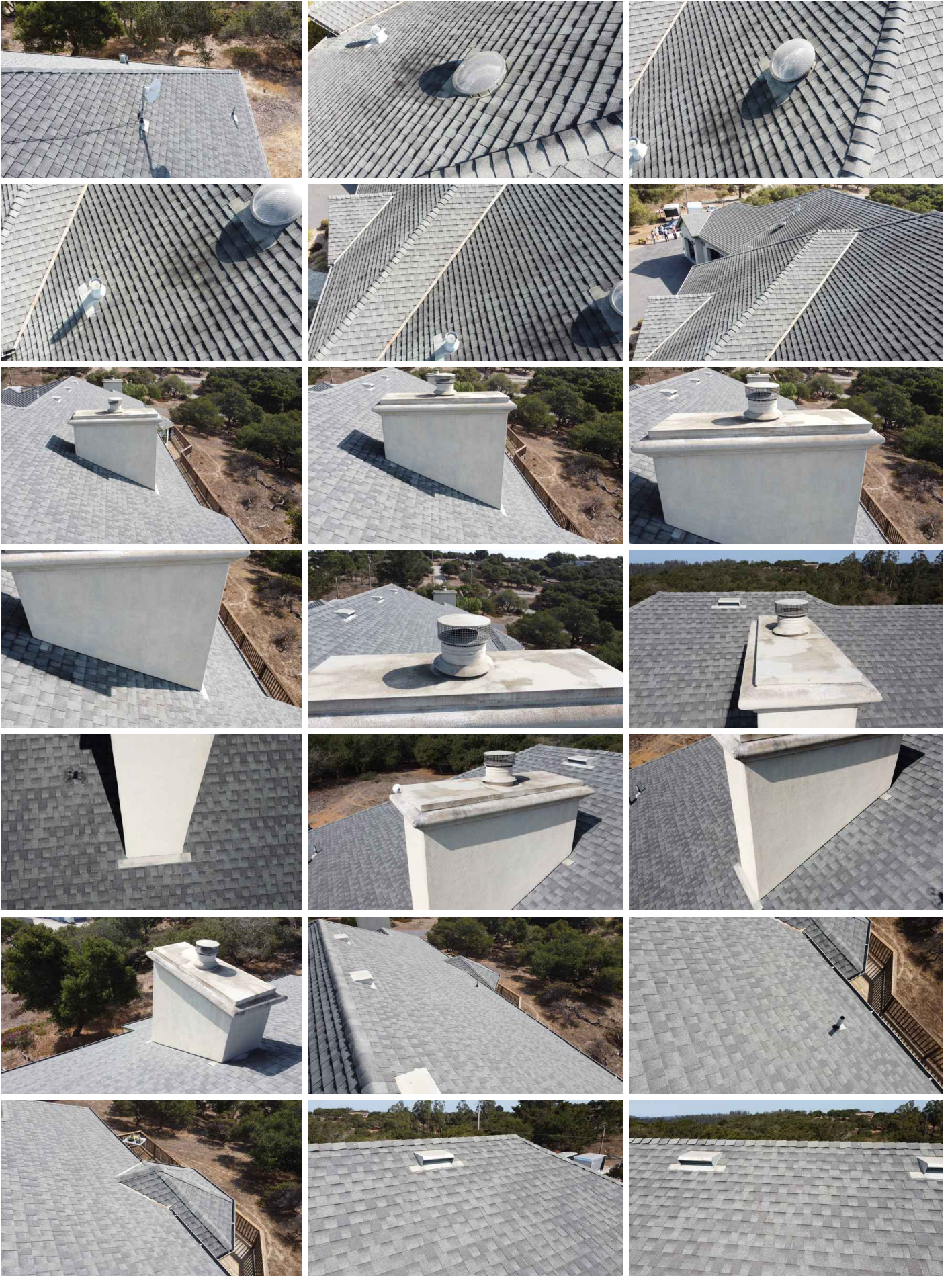
Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.











Roof Covering: Type of Roof-Covering Described

Asphalt, Tile

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

Roof Covering: Roof Was Inspected

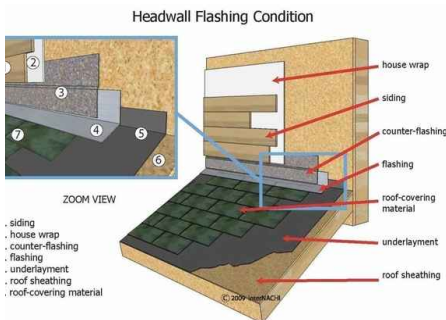
Drone, Ground

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



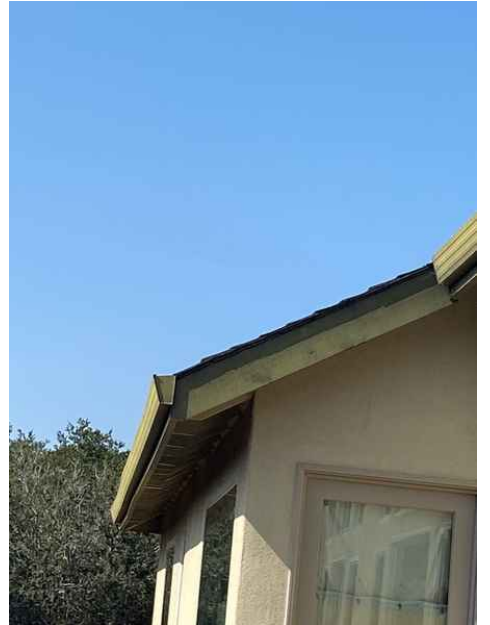
Flashing Details

Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

Gutters & Downspouts: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted far away from the house foundation.



Limitations

Roof Covering

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Roof Covering

UNABLE TO WALK UPON ROOF SURFACE

According to the Home Inspection Standards of Practice, a home inspector is not required to walk upon any roof surface. However, as courtesy only, I attempted to walk upon the roof surface, but was unable. It was not safe. It was not accessible. This was a restriction to my inspection of the roof system. You may want to consider hiring a professional roofer with a lift to check your roof system.

Flashing

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Plumbing Vent Pipes

UNABLE TO REACH ALL THE PIPES

I was unable to closely reach and observe all of the vent pipes that pass through the roof-covering materials. This was an inspection restriction.

Gutters & Downspouts

COULDN'T REACH THE GUTTERS

I was unable to closely reach and closely inspect the installation of all of the gutter components and systems.

3: EXTERIOR

Information

General: Homeowner's Responsibility

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

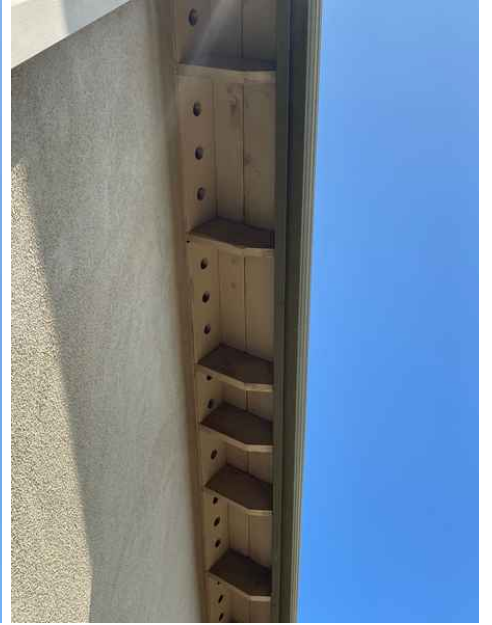
During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.

Inspection satisfactory.







Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described

Stucco

Inspection satisfactory.



Vegetation, Surface Drainage, Retaining Walls & Grading: Vegetation, Drainage, Walls & Grading Were Inspected

I inspected the vegetation, surface drainage, retaining walls and grading of the property, observed surface drainage slightly above the ground which may create water puddle. Correction and further evaluation is recommended by landscaping contractor.



GFCIs & Electrical: Inspected GFCIs/AFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

Inspection satisfactory.



Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

Inspection satisfactory.





Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

All treads should be level and secure. Riser heights and tread depths should be as uniform as possible. As a guide, stairs must have a maximum riser of 7-3/4 inches and a minimum tread of 10 inches.

Inspection satisfactory.



Porches, Patios, Decks, Balconies & Carports: Porches, Patios, Decks, Balconies & Carports Were Inspected

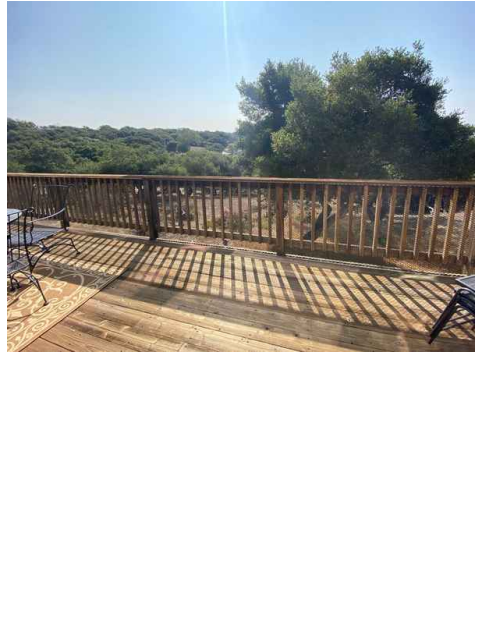
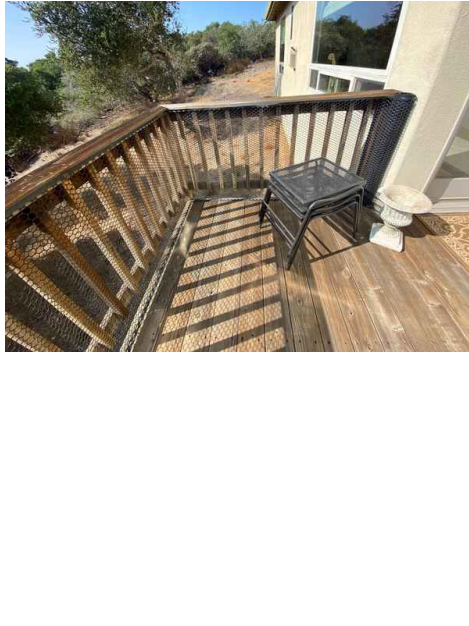
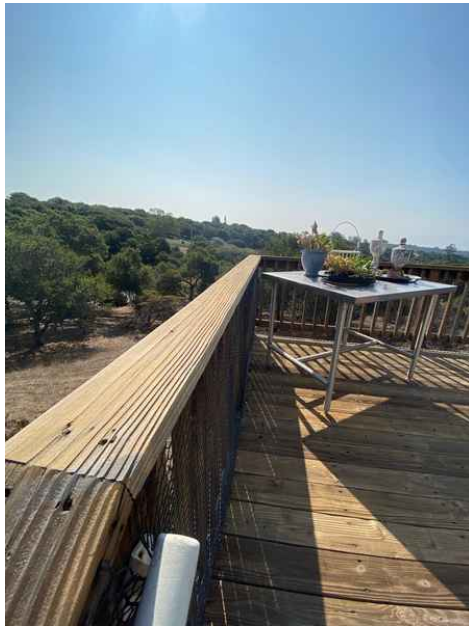
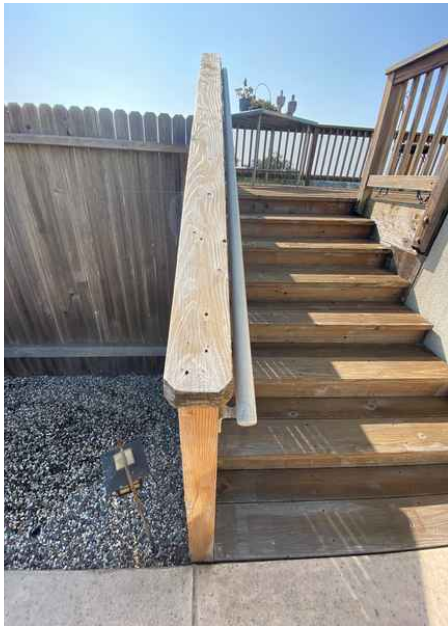
I inspected the porches, patios, decks, balconies and carports at the house that were within the scope of the home inspection.

Inspection satisfactory.



Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected

I inspected the railings, guards and handrails that were within the scope of the home inspection.
Inspection satisfactory.



Windows: Windows Inspected

A representative number of windows from the ground surface was inspected.
Inspection satisfactory.





Exterior Doors: Exterior Doors Inspected

I inspected the exterior doors.
Inspection satisfactory.



Exhaust Hoods: Exhust



Chimney,; Chimney



Limitations

Eaves, Soffits & Fascia

INSPECTION WAS RESTRICTED

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

Wall-Covering, Flashing & Trim

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

GFCIs & Electrical

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Windows

INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Recommendations

3.3.1 Wall-Covering, Flashing & Trim

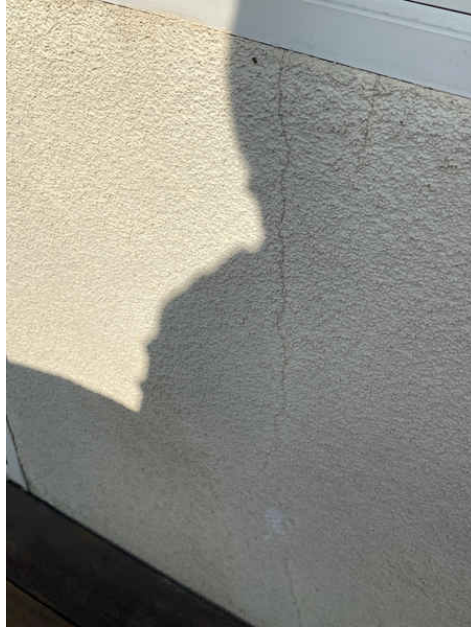
CRACKING - MINOR

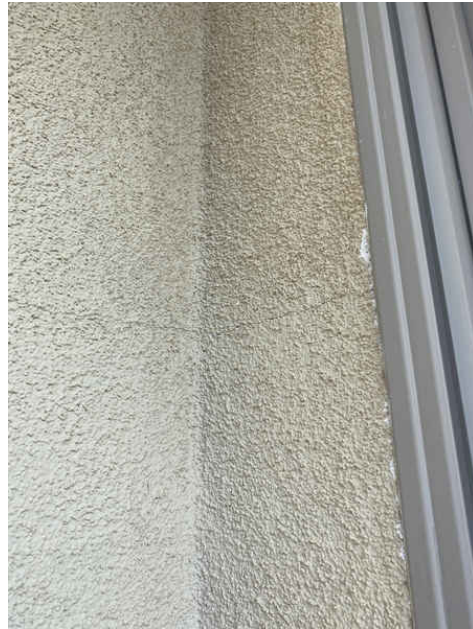
 Minor Defect

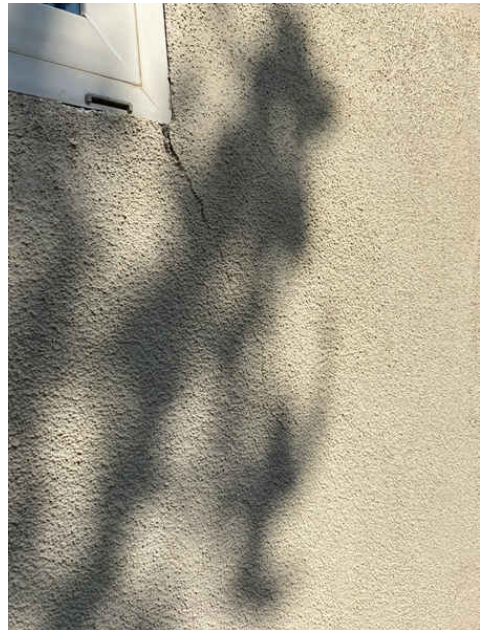
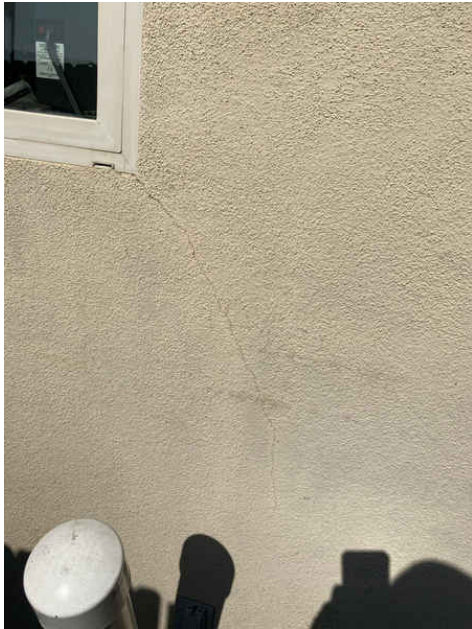
Siding showed cracking in one or more places. Recommend monitoring.

Recommendation

Recommended DIY Project







3.6.1 Walkways & Driveways

 Minor Defect

MINOR CRACKING AT DRIVEWAY

I observed indications of major cracking at the driveway. Correction and further evaluation is recommended.

Recommendation

Contact a qualified concrete contractor.



3.8.1 Porches, Patios, Decks, Balconies & Carports

 Minor Defect

DETERIORATED CONDITION AT DECK

I observed indications of deteriorated conditions at the deck components.

Recommendation

Contact a qualified deck contractor.



3.8.2 Porches, Patios, Decks, Balconies & Carports

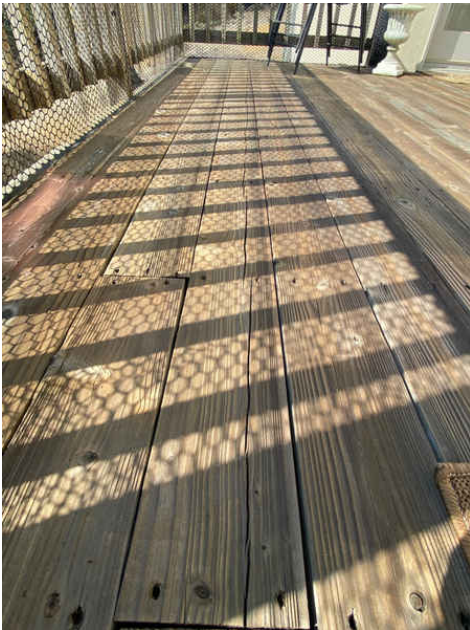
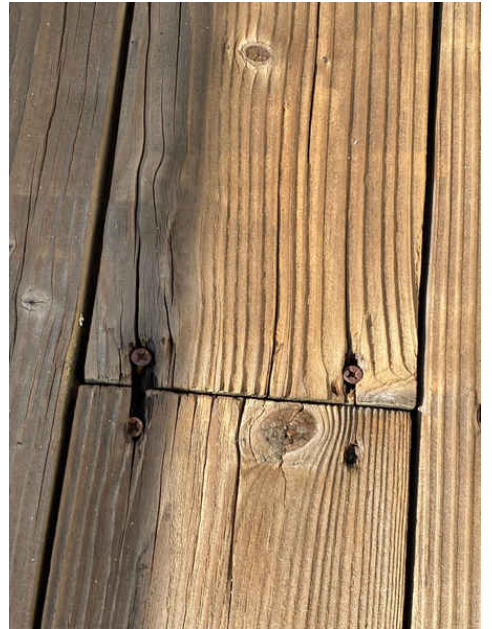
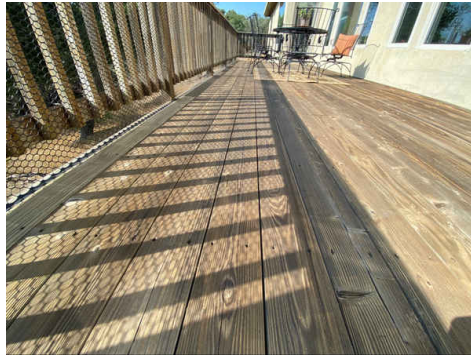
 Minor Defect

WORN OUT SURFACES

I observed indications of worn out surfaces at the deck.

Recommendation

Recommended DIY Project



3.8.3 Porches, Patios, Decks, Balconies & Carports

DAMAGE AT FOOTING OBSERVED

Recommendation

Contact a qualified professional.

 Action Required



3.8.4 Porches, Patios, Decks, Balconies & Carports

OBSERVED FOOTING MOVEMENT

Recommendation

Contact a qualified professional.

 Action Required



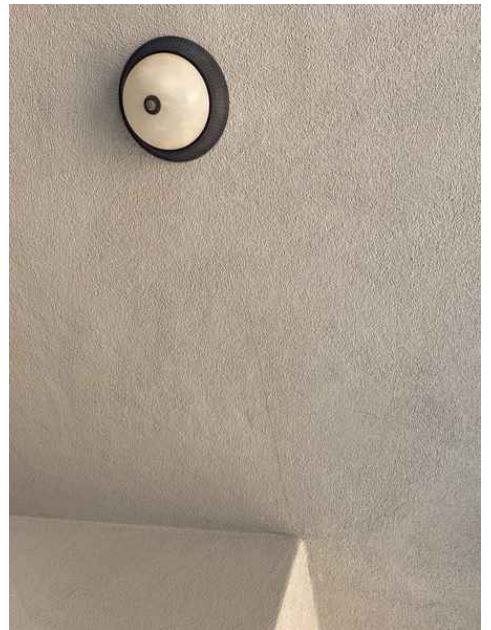
3.8.5 Porches, Patios, Decks, Balconies & Carports

CRACK ON CEILING OF FRONT PORCH OBSERVED

Recommendation

Contact a qualified professional.

 Action Required



3.11.1 Exterior Doors

DOOR HARDWARE DAMAGED

I observed damage at the exterior door hardware.

Correction and further evaluation is recommended.

Recommendation

Recommended DIY Project

 Minor Defect



3.13.1 Chimney,

GAP BETWEEN FLASHING AND ROOF COVERING OBSERVED

Recommendation

Contact a qualified professional.

 Action Required



4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

		IN	NI	NP	R
4.1	Under-Floor Crawlspace	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Under-Floor Crawlspace: Under-Floor Crawl Access Location
Closet



Under-Floor Crawlspace: Homeowner's Responsibility

One of the most common problems in a house with a crawlspace is water intrusion, condensation, and excessively high humidity levels. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, efflorescence, and rust on exposed metal parts. Water may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

Under-Floor Crawlspace: Type of Under-Floor Crawlspace Foundation Described Concrete



Under-Floor Crawlspace: Structural Components Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.

Recommendations

4.1.1 Under-Floor Crawlspace

CRACK OBSERVED ON FOUNDATION

Recommendation

Contact a qualified professional.

 Minor Defect



5: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	R
5.1	Structural Components & Observations in Attic	X			
5.2	Insulation in Attic	X			
5.3	Ventilation in Attic	X			

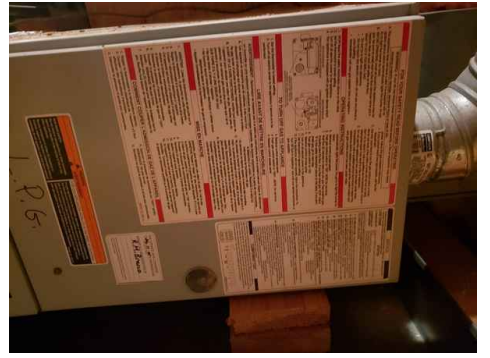
IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).

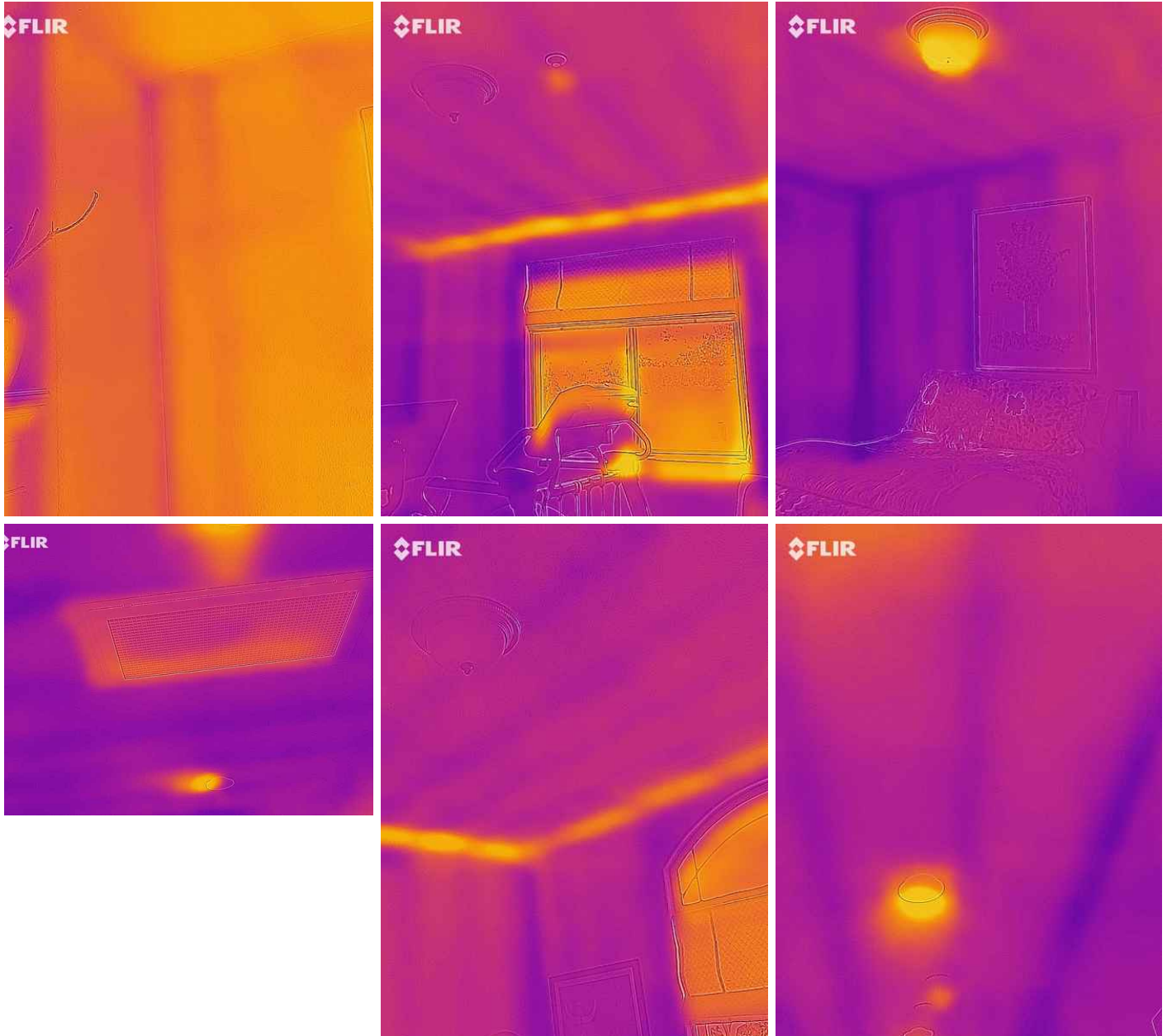






Insulation in Attic: Type of Insulation Observed

Fiberglass



Insulation in Attic: Approximate Average Depth of Insulation

9-12 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

Ventilation in Attic: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.



6: HEATING

		IN	NI	NP	R
6.1	Heating System Information	X			
6.2	Thermostat and Normal Operating Controls	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Heating System Information:

Heating Method

Warm-Air Heating System

Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

Heating System Information: Energy Source Propane



CONVERSION KIT RATING PLATE - CARRIER CORP.
 THIS APPLIANCE HAS BEEN CONVERTED TO USE PROPANE GAS FOR FUEL. REFER TO KIT INSTRUCTIONS FOR CONVERSION AND INSTALLATION BY QUALIFIED PERSONNEL.
 THIS APPLIANCE HAS BEEN CONVERTED TO USE PROPANE GAS FOR FUEL. REFER TO KIT INSTRUCTIONS FOR CONVERSION AND INSTALLATION BY QUALIFIED PERSONNEL.
 THE RATED INPUT SHALL BE MAINTAINED TO 200 BTU PER HOUR PER BTU RATED INPUT. THE RATED INPUT SHALL BE MAINTAINED TO 200 BTU PER HOUR PER BTU RATED INPUT.

BTU PER HOUR INPUT	RATED INPUT			RATED INPUT		
	1000	1500	2000	1000	1500	2000
1000	10.0	10.0	10.0	10.0	10.0	10.0
1500	15.0	15.0	15.0	15.0	15.0	15.0
2000	20.0	20.0	20.0	20.0	20.0	20.0

THIS FURNACE WAS CONVERTED FROM NATURAL GAS TO PROPANE GAS
 WITH KIT NO. KGANP2801F80 BY
R.M. Brasco
807 Industrial Dr
Hollister, CA 95023

Thermostat and Normal Operating Controls: Thermostat Location

Multiple thermostats



7: COOLING

		IN	NI	NP	R
7.1	Cooling System Information			X	
7.2	Thermostat and Normal Operating Controls			X	
7.3	Condensate			X	

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Thermostat and Normal Operating Controls: Thermostat Location

Multiple thermostats
Inspection satisfactory.

Cooling System Information: Homeowner's Responsibility

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the air conditioning system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

8: PLUMBING

		IN	NI	NP	R
8.1	Main Water Shut-Off Valve	X			
8.2	Water Supply	X			
8.3	Hot Water Source	X			
8.4	Drain, Waste, & Vent Systems	X			
8.5	Water Supply & Distribution Systems	X			
8.6	sump pump			X	

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Main Water Shut-Off Valve: Homeowner's Responsibility

It's your job to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.

Main Water Shut-Off Valve: Location of Main Shut-Off Valve

Outside of House



Water Supply : Water Supply Is Public

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

Hot Water Source: Type of Hot Water Source

Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.



Hot Water Source: Inspected TPR Valve

I visual inspected the expansion tank, appears to be brand new.



Limitations

Drain, Waste, & Vent Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

9: ELECTRICAL

		IN	NI	NP	R
9.1	Electric Meter & Base	X			
9.2	Service-Entrance Conductors	X			
9.3	Main Service Disconnect	X			
9.4	Electrical Wiring	X			
9.5	Panelboards & Breakers	X			
9.6	Service Grounding & Bonding	X			
9.7	AFCIs	X			
9.8	GFCIs	X			
9.9	Electrical Defects	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Main Service Disconnect: Inspected Main Service Disconnect

I visually inspected the electrical main service disconnect.

Electrical Wiring: Type of Wiring, If Visible

NM-B (Romex), Conduit

Electric Meter & Base: Inspected the Electric Meter & Base

I inspected the electrical electric meter and base.
Inspection satisfactory.



Service-Entrance Conductors: Inspected Service-Entrance Conductors

I inspected the electrical service-entrance conductors.



Main Service Disconnect: Homeowner's Responsibility

It's your job to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

Main Service Disconnect: Main Disconnect Rating, If Labeled

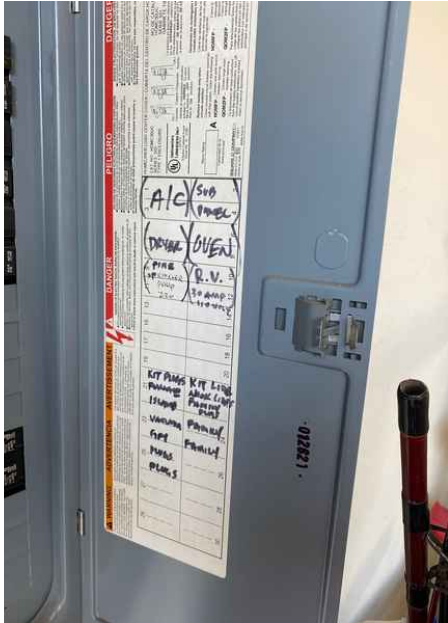
400

I observed indications of the main service disconnect's amperage rating. It was labeled.



Panelboards & Breakers: Inspected Main Panelboard & Breakers

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).



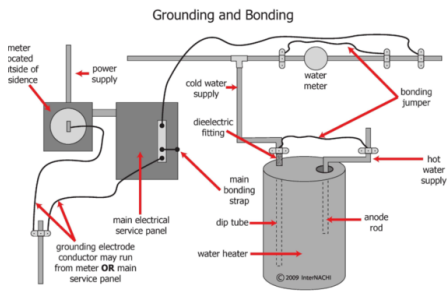
Panelboards & Breakers: Inspected Subpanel & Breakers

I inspected the electrical subpanel and over-current protection devices (circuit breakers and fuses).



Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



AFCIs: Inspected AFCIs

I inspected receptacles observed that were deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible.

GFCIs: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

Limitations

Electrical Wiring

UNABLE TO INSPECT ALL OF THE WIRING

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

Service Grounding & Bonding

UNABLE TO CONFIRM PROPER GROUNDING AND BONDING

I was unable to confirm proper installation of the system grounding and bonding according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the grounding and bonding as much as I could according to the Home Inspection Standards of Practice.



AFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the AFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

GFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

10: MASTER BEDROOM

		IN	NI	NP	R
10.1	General	X			
10.2	Doors	X			
10.3	Windows	X			
10.4	Floors	X			
10.5	Walls	X			
10.6	Ceilings	X			
10.7	Lighting Fixtures, Switches & Receptacles	X			
10.8	GFCI & AFCI	X			
10.9	Smoke Detectors	X			
10.10	Carbon Monoxide Detectors			X	
10.11	Fire place	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Windows: Window Manufacturer
Milgard



Smoke Detectors: Smoke detector

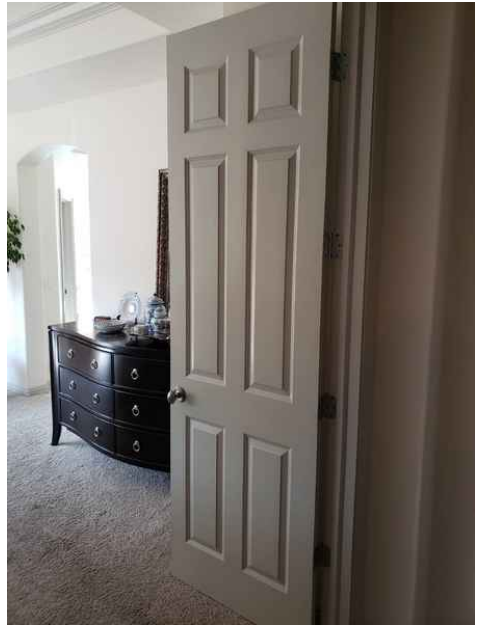
Inspection satisfactory



General: Master bedroom



Doors: Doors

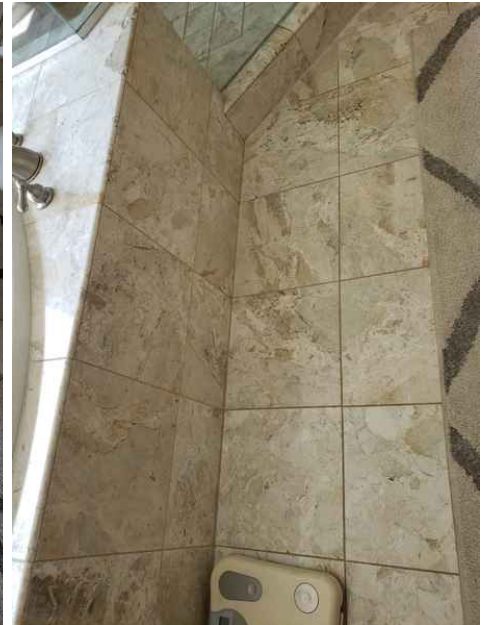
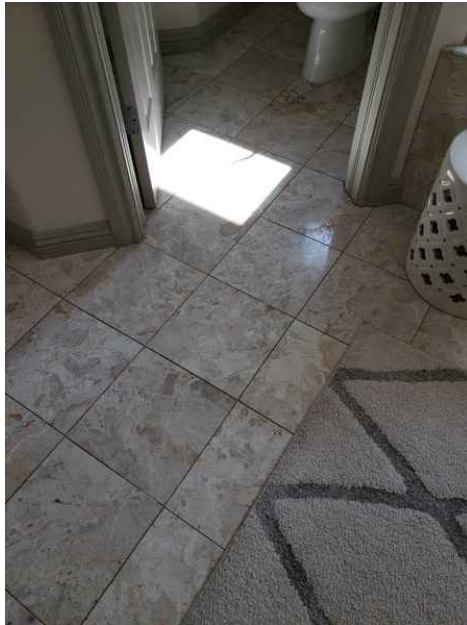
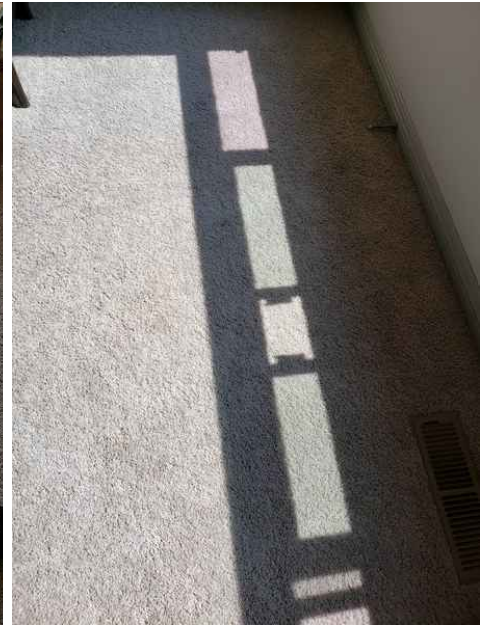
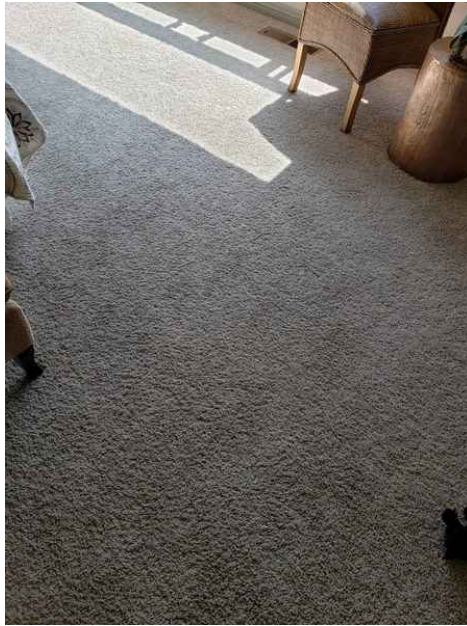


Windows: Window Type
Casement, Sliders, Fixed



Floors: Floor Coverings

Carpet, Tile



Walls: Wall Material

Drywall, Gypsum Board



Ceilings: Ceiling Material

Gypsum Board



Lighting Fixtures, Switches & Receptacles: Lighting Fixtures, Switches & Receptacles



GFCI & AFCI: AFCI



Fire place: Gas operated fireplace

lighter was off at the timenof inspection.



Recommendations

10.5.1 Walls

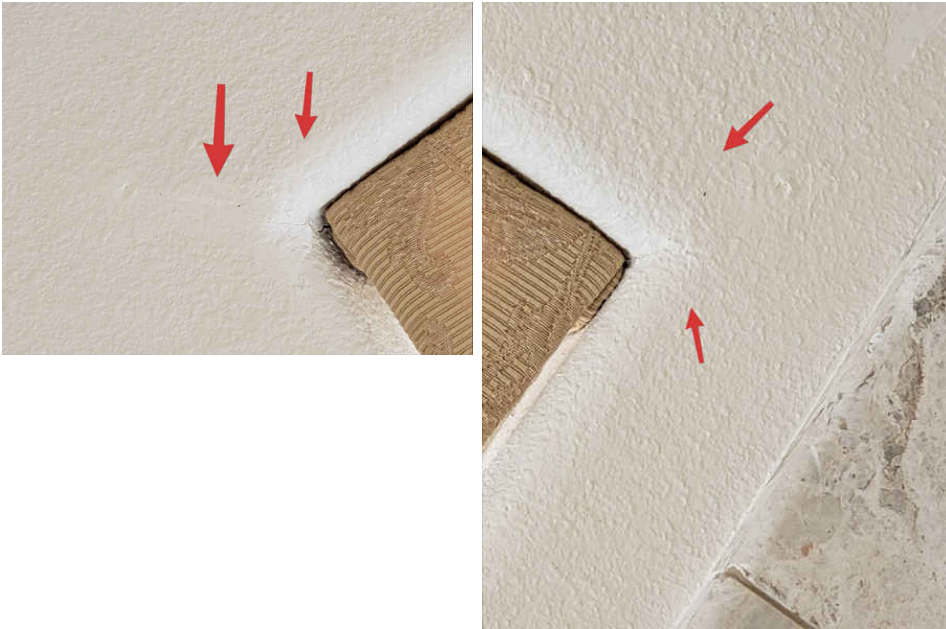
MINOR CORNER CRACKS



Minor cracks at the corners of doors and windows in walls. Appeared to be the result of long-term settling. Some settling is not unusual in a home of this age and these cracks are not a structural concern.

Recommendation

Contact a qualified professional.



10.5.2 Walls

PAINT CRACKING

 Minor Defect

Wall paint was cracking in one or more areas. Recommend a qualified painter evaluate and apply a new coat.

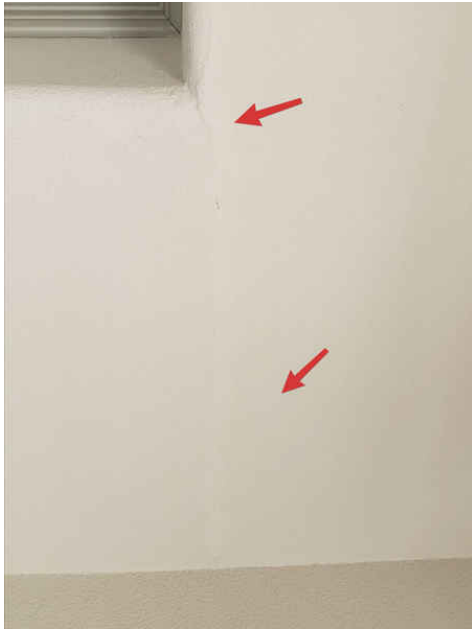
Here is a DIY article on [treating cracking paint](#).

Recommendation

Contact a qualified painting contractor.



Poor patching



11: BEDROOM 2

		IN	NI	NP	R
11.1	General	X			
11.2	Doors	X			
11.3	Windows	X			
11.4	Floors	X			
11.5	Walls	X			
11.6	Ceilings	X			
11.7	Lighting Fixtures, Switches & Receptacles	X			
11.8	GFCI & AFCI	X			
11.9	Smoke Detectors	X			
11.10	Carbon Monoxide Detectors			X	

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

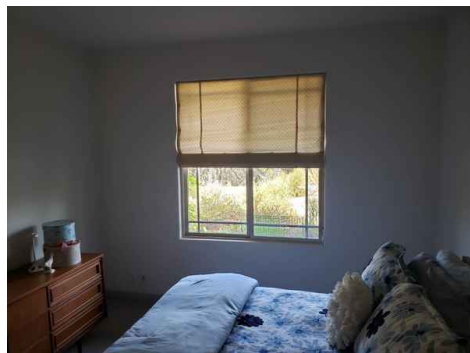
Information

Windows: Window Manufacturer
Milgard

Smoke Detectors: BDR2
Tested satisfactory.



General: Bedroom 2



Doors: Bedroom 2



Windows: Window Type

Sliders



Floors: Floor Coverings

Carpet



Walls: Wall Material

Drywall, Gypsum Board



Ceilings: Ceiling Material

Gypsum Board



Lighting Fixtures, Switches & Receptacles: Bedroom2 Lighting



GFCI & AFCI: Bdr2 AFCI/GFCI



12: BEDROOM 3

		IN	NI	NP	R
12.1	General	X			
12.2	Doors	X			
12.3	Windows	X			
12.4	Floors	X			
12.5	Walls	X			
12.6	Ceilings	X			
12.7	Lighting Fixtures, Switches & Receptacles	X			
12.8	GFCI & AFCI	X			
12.9	Smoke Detectors	X			
12.10	Carbon Monoxide Detectors			X	

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Windows: Window Type
Sliders



Windows: Window Manufacturer **GFCI & AFCI: AFCI**
Milgard

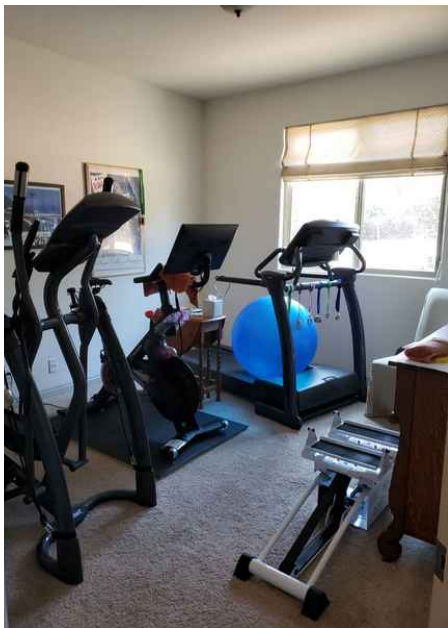


Smoke Detectors: BDR3 Smoke detector

Inspection satisfactory.



General: Bedroom3



Doors: Bedroom3



Floors: Floor Coverings

Carpet



Walls: Wall Material

Drywall, Gypsum Board



Ceilings: Ceiling Material

Gypsum Board



Lighting Fixtures, Switches & Receptacles: BDR3 Lighting



Recommendations

12.3.1 Windows

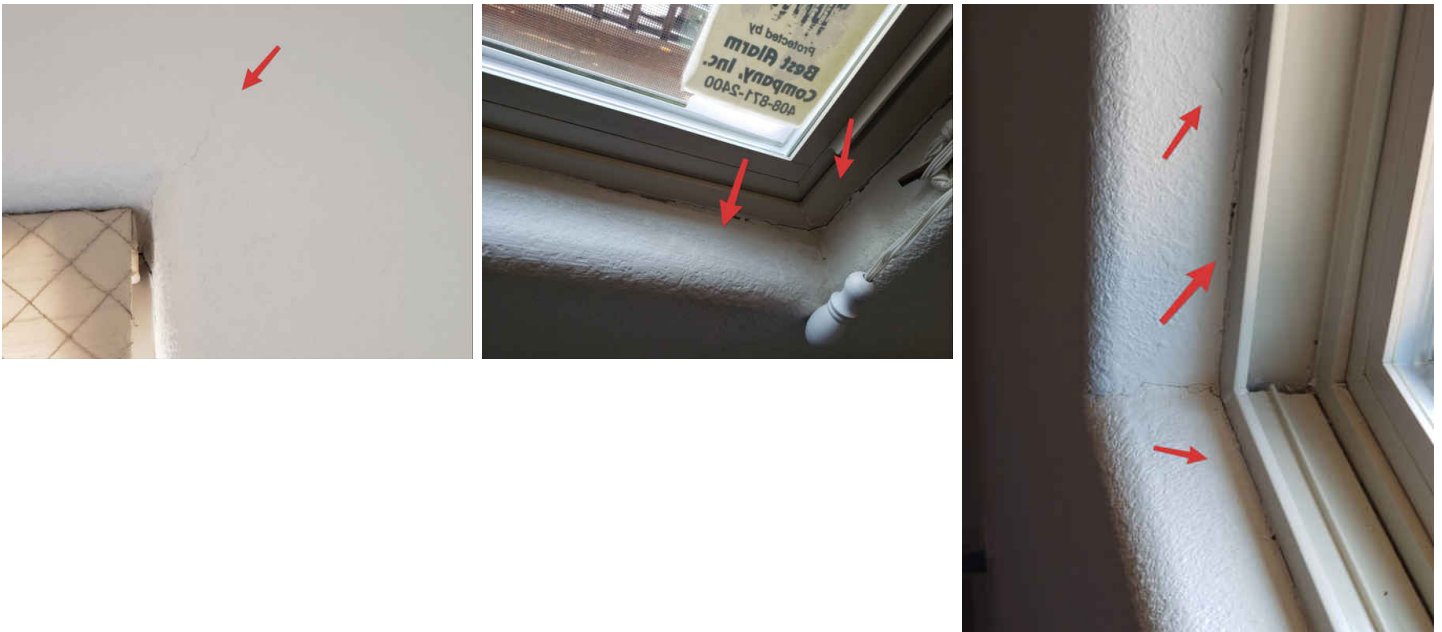
MINOR CORNER CRACKS

Monitor and consult with professional.

Recommendation

Contact a qualified professional.

 Minor Defect



13: BEDROOM 4

		IN	NI	NP	R
13.1	General	X			
13.2	Doors	X			
13.3	Windows	X			
13.4	Floors	X			
13.5	Walls	X			
13.6	Ceilings	X			
13.7	Lighting Fixtures, Switches & Receptacles	X			
13.8	GFCI & AFCI	X			
13.9	Smoke Detectors	X			
13.10	Carbon Monoxide Detectors			X	

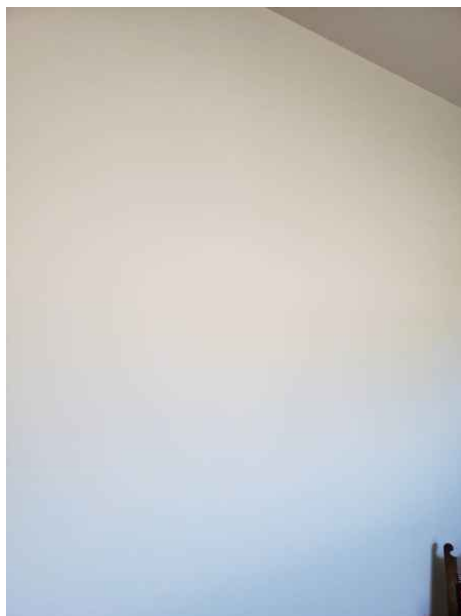
IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Windows: Window Manufacturer
Milgard



Walls: Wall Material
Gypsum Board, Drywall



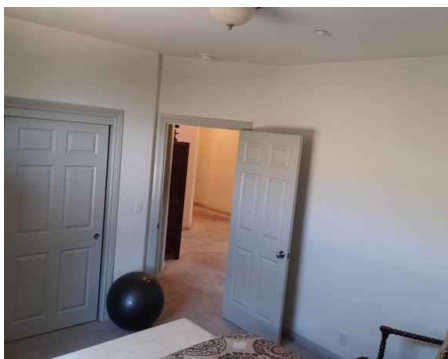
GFCI & AFCI: AFCI



Smoke Detectors: Smoke detector



General: Bedroom 4



Doors: Doors



Windows: Window Type

Sliders



Floors: Floor Coverings

Carpet



Ceilings: Ceiling Material

Gypsum Board



Lighting Fixtures, Switches & Receptacles: Lights ,swithes and recepicals



Recommendations

13.3.1 Windows

MINOR CORNER CRACKS

Recommendation

Contact a qualified professional.

 Minor Defect





14: BEDROOM 5

		IN	NI	NP	R
14.1	General	X			
14.2	Doors	X			
14.3	Windows	X			
14.4	Floors	X			
14.5	Walls	X			
14.6	Ceilings	X			
14.7	Lighting Fixtures, Switches & Receptacles	X			
14.8	GFCI & AFCI	X			
14.9	Smoke Detectors	X			
14.10	Carbon Monoxide Detectors			X	

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Windows: Window Type

Sliders



Windows: Window Manufacturer

Milgard



Ceilings: Ceiling Material

Gypsum Board



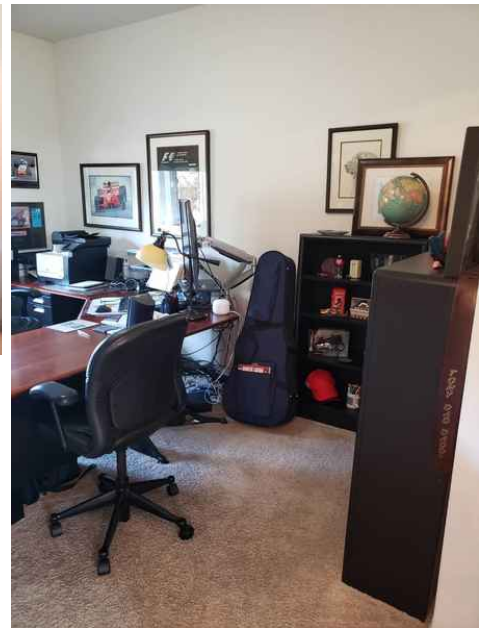
GFCI & AFCI: AFCI



Smoke Detectors: Smoke detector



General: Bedroom6

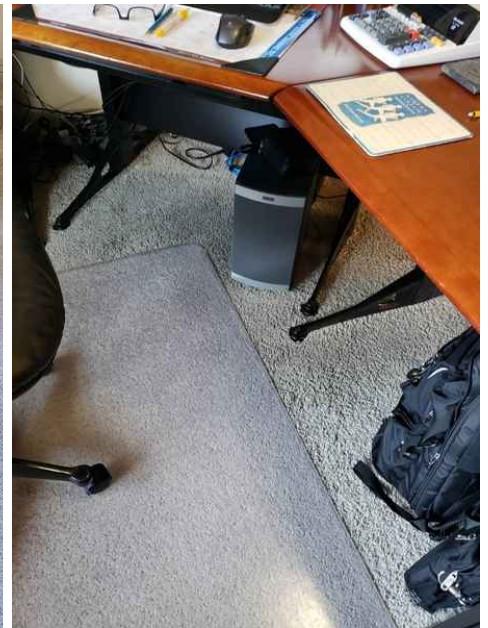


Doors: Doors



Floors: Floor Coverings

Carpet



Walls: Wall Material

Drywall, Gypsum Board



Lighting Fixtures, Switches & Receptacles: Switch



Recommendations

14.5.1 Walls

MINOR CORNER CRACK

minor Corner crack observed.

Recommendation

Contact a qualified professional.

 Minor Defect



15: BATHROOM 1

		IN	NI	NP	R
15.1	General	X			
15.2	Toilet	X			
15.3	Shower	X			
15.4	GFCI & AFCI	X			
15.5	Water Supply, Distribution Systems & Fixtures	X			
15.6	Lighting Fixtures, Switches & Receptacles	X			
15.7	Bathroom Cabinet	X			
15.8	Bathroom Fan/Vent	X			
15.9	Tub/Jacuzzi	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

General: Ceiling



Toilet: Toilet Flooring



Toilet: Walls



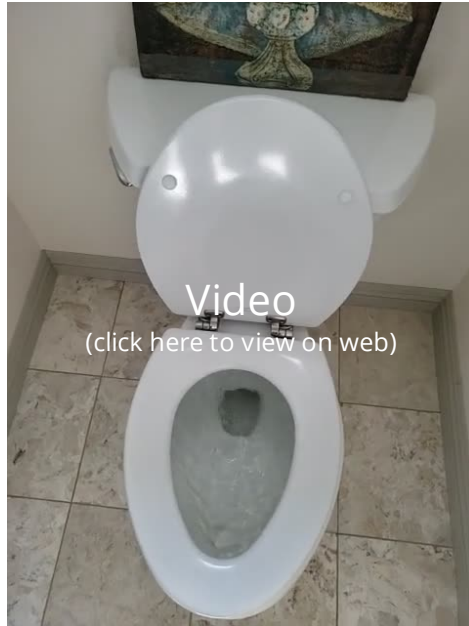
Water Supply, Distribution Systems & Fixtures: Water Supply Material

PVC, Galvanized, Hose

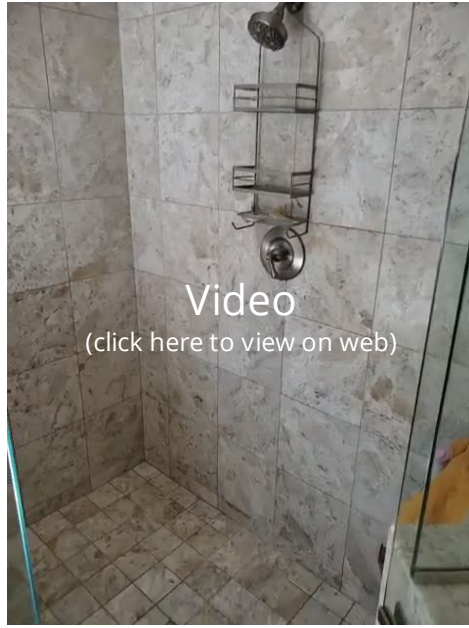
General: Bathroom



Toilet: Toilet



Shower: Shower



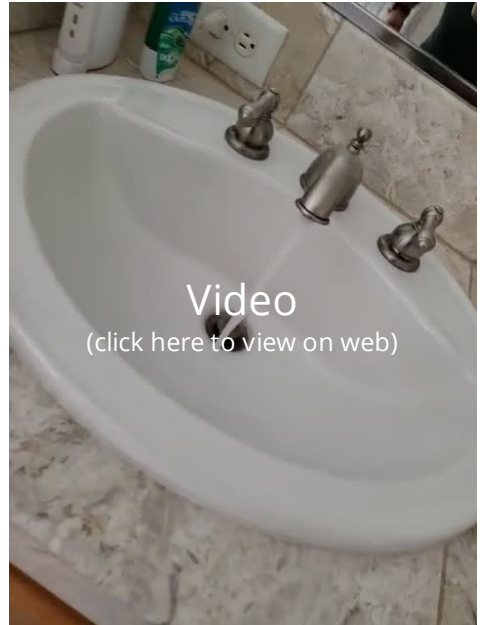
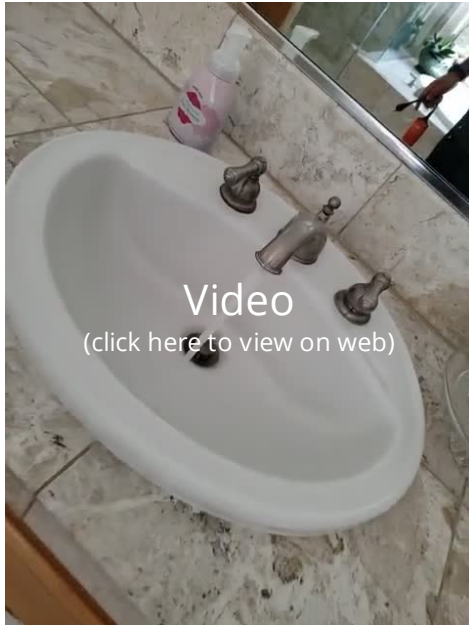
GFCI & AFCI: GFCI



GFCI & AFCI: AFCI



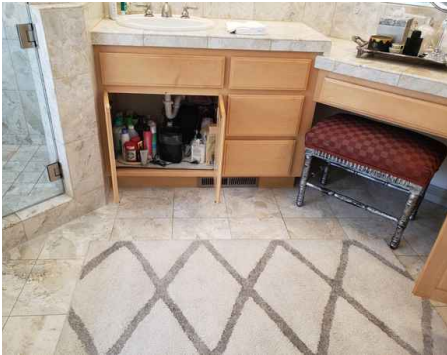
Water Supply, Distribution Systems & Fixtures: Distribution Material PVC, Galvanized, Hose



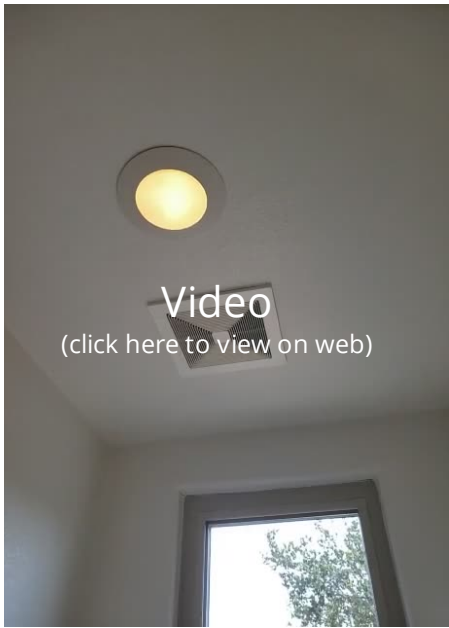
Lighting Fixtures, Switches & Receptacles: Lighting System Fixture



Bathroom Cabinet: Bathroom Cabinet



Bathroom Fan/Vent: Vent



Tub/Jacuzzi : TUB/Jacuzzi



Recommendations

15.2.1 Toilet

MINOR CORNER CRACKS

Minor corner cracks observed in toilet window.

Recommendation

Contact a qualified professional.

 Action Required



16: BATHROOM 2

		IN	NI	NP	R
16.1	General	X			
16.2	Water Supply, Distribution Systems & Fixtures	X			
16.3	Lighting Fixtures, Switches & Receptacles	X			
16.4	GFCI & AFCI	X			
16.5	Shower	X			
16.6	Toilet	X			
16.7	Bathroom cabinet	X			
16.8	Bathroom vent	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Water Supply, Distribution Systems & Fixtures: Distribution Material
Copper

Water Supply, Distribution Systems & Fixtures: Water Supply Material
Hose

Bathroom cabinet : Bathroom cabinet



Bathroom vent : Bathroom vent



General: Bathroom 2

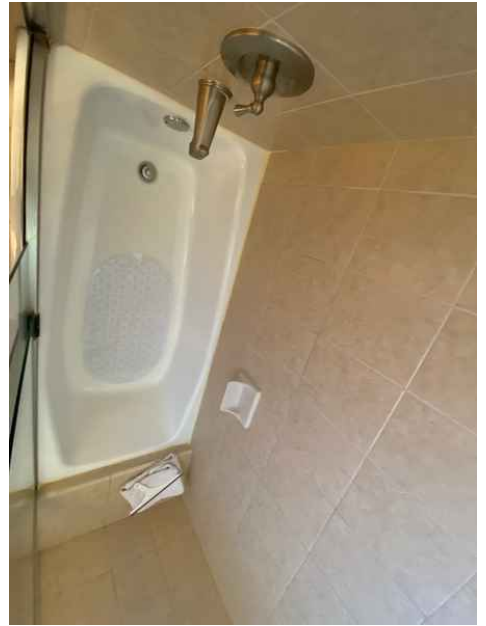




Lighting Fixtures, Switches & Receptacles: Lighting Fixture



Shower: Shower



Toilet: Toilet



17: BATHROOM 3

		IN	NI	NP	R
17.1	General	X			
17.2	Water Supply, Distribution Systems & Fixtures	X			
17.3	Lighting Fixtures, Switches & Receptacles	X			
17.4	GFCI & AFCI	X			
17.5	Shower	X			
17.6	Toilet	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Water Supply, Distribution Systems & Fixtures: Distribution Material
Copper

Water Supply, Distribution Systems & Fixtures: Water Supply Material
Copper



General: Bathroom3



Lighting Fixtures, Switches & Receptacles: Lighting Fixtures, Switches & Receptacles



Shower: Shower



Toilet: Toilet



18: DINNING ROOM

		IN	NI	NP	R
18.1	General	X			
18.2	Doors			X	
18.3	Windows	X			
18.4	Floors	X			
18.5	Walls	X			
18.6	Ceilings	X			
18.7	Thermostat Controls			X	
18.8	Lighting Fixtures, Switches & Receptacles	X			
18.9	GFCI & AFCI	X			
18.10	CO detectors	X			
18.11	Fireplace	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Windows: Window Manufacturer
Milgard

Ceilings: Ceiling Material
Gypsum Board

GFCI & AFCI: AFCI



CO detectors : smoke and CO detector



General: Dining area



Windows: Window Type
Casement, Fixed Lite



Floors: Floor Coverings
Carpet



Walls: Wall Material

Gypsum Board



Lighting Fixtures, Switches & Receptacles: Lighting Fixtures, Switches & Receptacles



Fireplace: Fireplace



19: LAUNDRY

		IN	NI	NP	R
19.1	Clothes Washer			X	
19.2	Clothes Dryer			X	
19.3	Laundry Room, Electric, and Tub	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Clothes Washer: Clothes Washer Clothes Dryer: Dryer



Laundry Room, Electric, and Tub: Laundry Room



Limitations

Clothes Washer

DID NOT INSPECT

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

Clothes Dryer

DID NOT INSPECT

I did not inspect the clothes washer and dryer fully. These appliances are beyond the scope of a home inspection. I did not operate the appliances. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

20: KITCHEN

		IN	NI	NP	R
20.1	Kitchen Sink	X			
20.2	Garbage Disposals	X			
20.3	GFCI	X			
20.4	AFCI	X			
20.5	Dishwasher	X			
20.6	Range/Oven/Cooktop	X			
20.7	Refrigerator	X			
20.8	Built-in Microwave	X			
20.9	Countertops & Cabinets	X			
20.10	Floors, Walls, Ceilings	X			
20.11	Lightning fixers	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Dishwasher: Missing dishwasher GFCI

at the time of inspection
observed missing GFCI

Kitchen Sink: Ran Water at Kitchen Sink

I ran water at the kitchen sinks.
Inspection satisfactory.



Garbage Disposals: Turned On Garbage Disposals

I turned on the garbage disposal.
Inspection satisfactory.



GFCI: GFCI Tested

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.
Inspection satisfactory.



AFCI: AFCI



Dishwasher: Inspected Dishwasher

I inspected the dishwasher by turning it on and letting it run a short cycle. Inspection satisfactory.



Range/Oven/Cooktop: Turned On Stove & Oven

I turned on the kitchen's stove and oven.

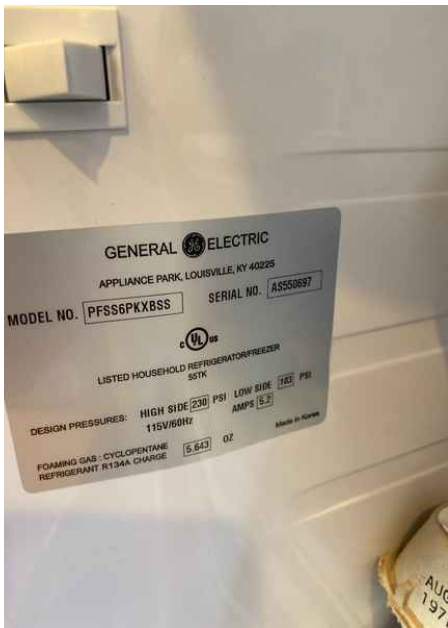
Inspection satisfactory.



Refrigerator: Refrigerator Was On

I checked to see if the refrigerator was on. It was. That's all I inspected in relation to a refrigerator. Refrigerators are beyond the scope of a home inspection.

Inspection satisfactory.



Built-in Microwave: Microwave Turned On

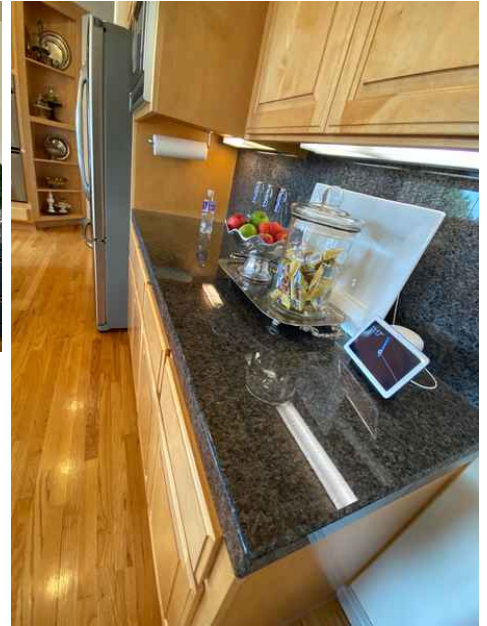
I observed that the microwave turned on. I do nothing more than that. Microwaves are beyond the scope of a home inspection.

Inspection satisfactory.



Countertops & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.

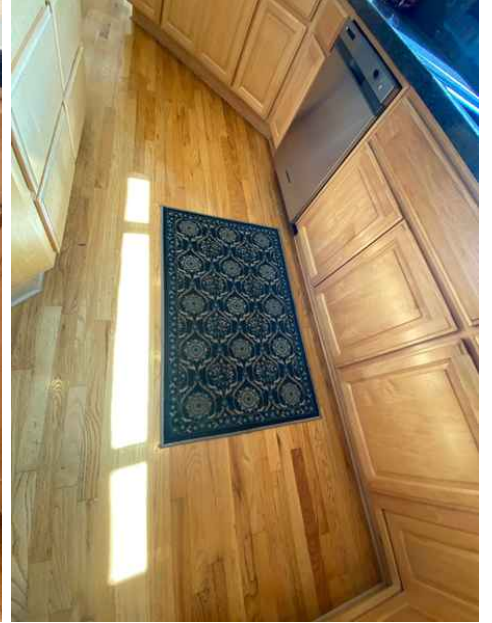




Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#).

Observed base board adjacent to stairs were missing.



Lightning fixers : Switches and lights



Recommendations

20.5.1 Dishwasher

 Action Required**MISSING GFCI PROTECTION**

I observed a defect at the GFCI for the dishwasher. There is missing GFCI protection for the dishwasher. Ground-fault circuit-interrupter (GFCI) protection must be provided for outlets that supply dishwashers installed in a house (NEC 2014 210.8.D).

GFCI devices must be readily accessible.

Recommendation

Contact a qualified appliance repair professional.

20.5.2 Dishwasher

 Action Required**DID NOT DRAIN PROPERLY**

I observed indications that the dishwasher failed to drain properly.

Recommendation

Contact a qualified appliance repair professional.

20.5.3 Dishwasher

 Action Required**DEFECT AT BACKFLOW PREVENTION**

I observed indications of a defect at the backflow prevention mechanism.

The water supply to a residential dishwashing machine should be protected against backflow by an air gap within the machine or backflow preventer. The machine must be equipped with an integral backflow mechanism, or the potable water supply must have either a backflow preventer or an air gap. **The air gap** is actually the open space within the dishwasher interior itself.

The ASSE 1006 standard for residential and domestic-type dishwashing machines is the requirement for the protection of the potable water supply against backflow. If the unit conforms to the standard, there is an internal integral backflow prevention device installed, and additional precautions are unnecessary. Prior to installing, the installer should confirm that the machine conforms to the standard.

Recommendation

Contact a qualified appliance repair professional.



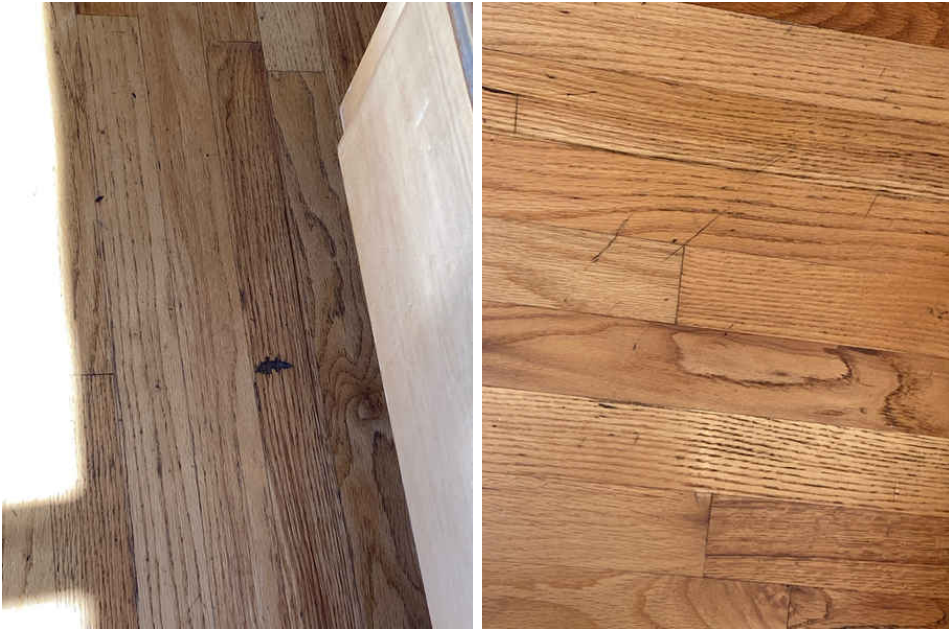
20.10.1 Floors, Walls, Ceilings

 Minor Defect**MINOR DAMAGE**

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Recommendation

Contact a qualified professional.



21: LIVING ROOM

		IN	NI	NP	R
21.1	General	X			
21.2	Doors	X			
21.3	Windows	X			
21.4	Floors	X			
21.5	Walls	X			
21.6	Ceilings	X			
21.7	Thermostat Controls	X			
21.8	Lighting Fixtures, Switches & Receptacles	X			
21.9	GFCI & AFCI	X			
21.10	Fireplace	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

General: Living room



**Ceilings: Ceiling Material
Gypsum Board**



Thermostat Controls: Thermostat



GFCI & AFCI: AFCI



Doors: Doors



Windows: Window Type

Sliders, Fixed Lite



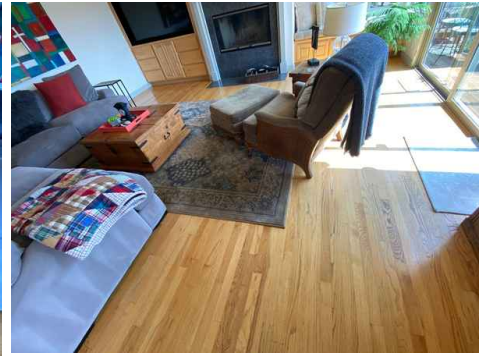
Windows: Window Manufacturer

Milgard



Floors: Floor Coverings

Hardwood



Walls: Wall Material

Gypsum Board



Lighting Fixtures, Switches & Receptacles: Lighting Fixtures, Switches & Receptacles



Fireplace: Fireplace



Recommendations

21.4.1 Floors

DAMAGED (GENERAL)

The home had general moderate damage visible at the time of the inspection. Recommend service by a qualified contractor.

Recommendation

Contact a qualified cleaning service.





22: ATTACHED GARAGE

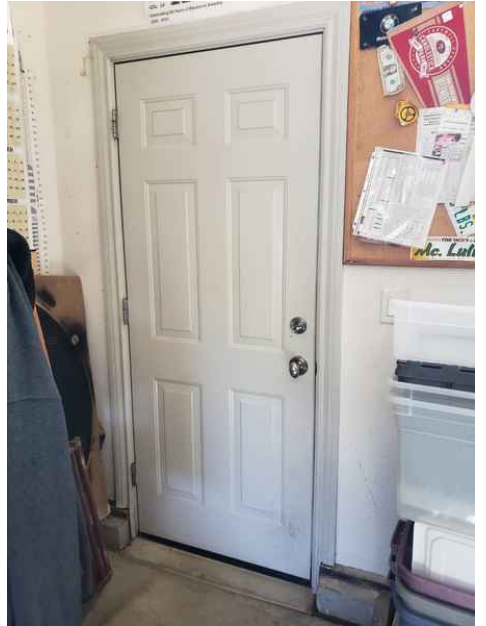
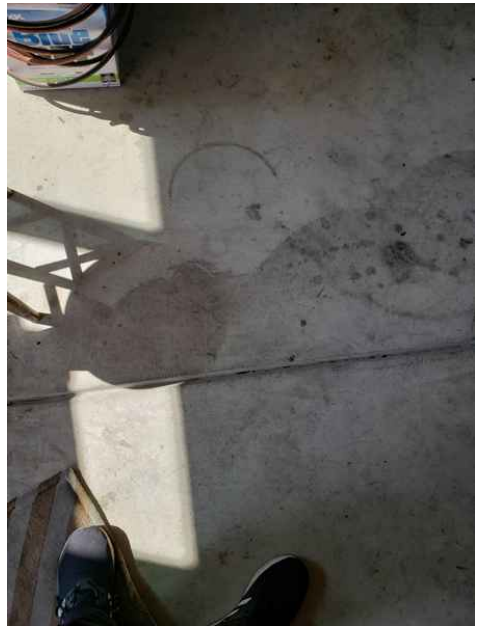
		IN	NI	NP	R
22.1	Garage Floor	X			
22.2	Garage Vehicle Door	X			
22.3	Garage Vehicle Door Opener	X			
22.4	Electric in Garage	X			
22.5	Ceiling, Walls & Firewalls in Garage	X			
22.6	Moisture Intrusion in Garage	X			
22.7	Garage door opener	X			

IN = Inspected NI = Not Inspected NP = Not Present R = Recommendations

Information

Garage Floor: Garage Floor Inspected

I inspected the floor of the attached garage.
Inspection satisfactory.



Garage Vehicle Door: Type of Door Operation Opener



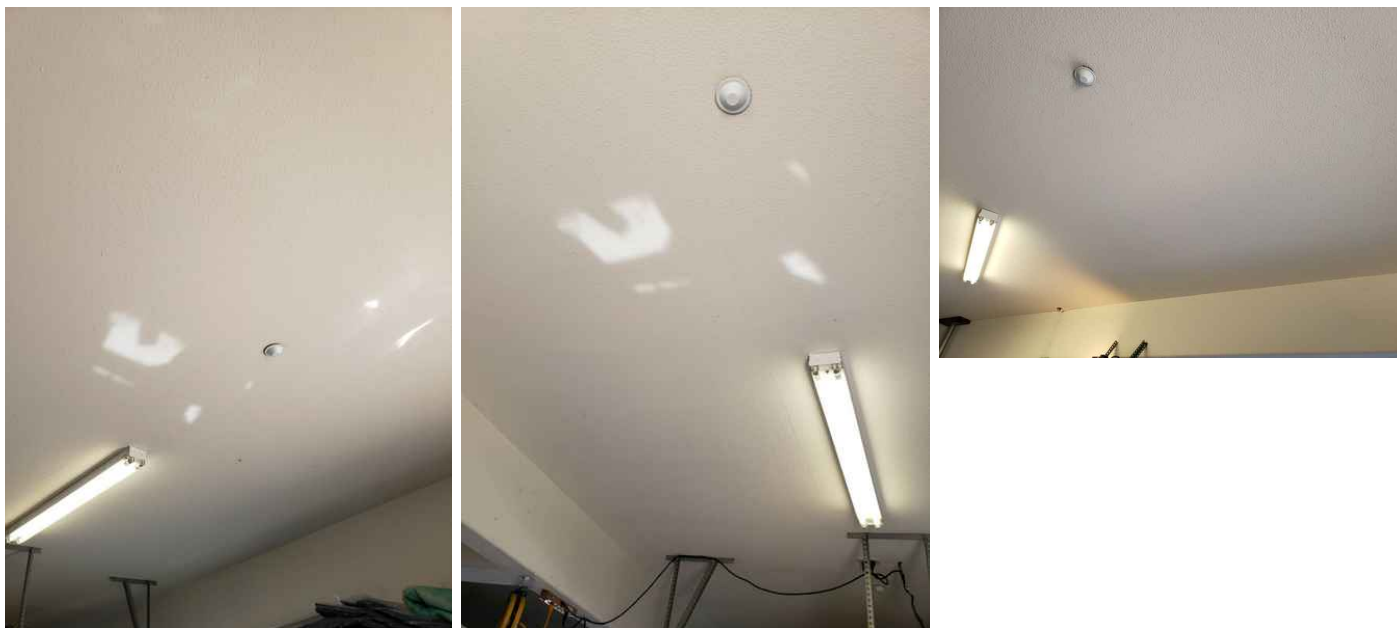
Electric in Garage: Electric in garage



Ceiling, Walls & Firewalls in Garage: Garage Ceiling & Walls Were Inspected

I inspected the ceiling and walls of the garage according to the Home Inspection Standards of Practice.

Observed unfinished or missing base boards .



Ceiling, Walls & Firewalls in Garage: Door Between Garage and House Was Inspected

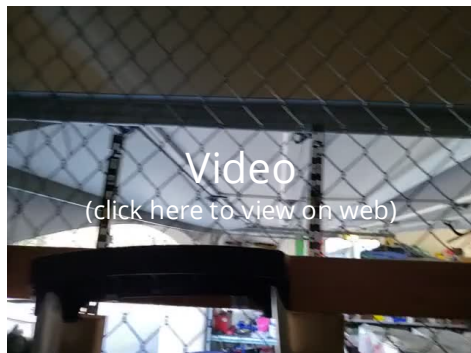
I inspected the door between the attached garage and the house.

The door should be a solid wood door at least 1-3/8 inches thick, a solid or honeycomb-core steel door at least 1-3/8 inches thick, or a 20-minute fire-rated door.

The door should be equipped with a self-closing or an automatic-closing device.



Garage door opener : Garage door opener



Limitations

Ceiling, Walls & Firewalls in Garage

CAN'T SEE EVERYTHING

I can not observe everything. Inspection restrictions. My inspection was limited.

Recommendations

22.1.1 Garage Floor

MINOR STAINS OBSERVED IN GARAGE FLOOR

Recommendation

Contact a qualified professional.





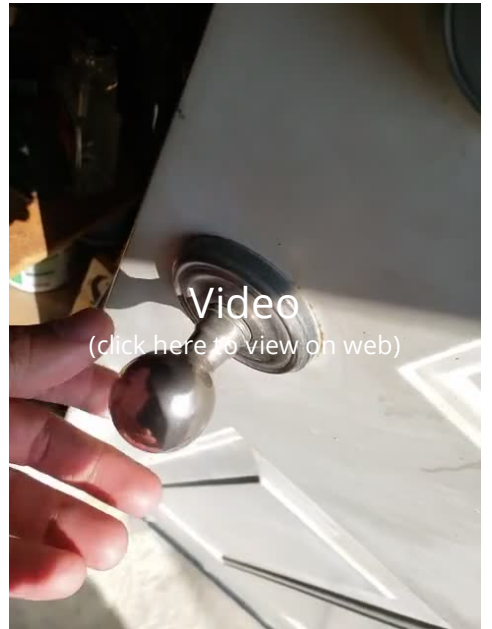
22.1.2 Garage Floor

GARAGE DOOR HANDLE LOOSE

Recommendation

Contact a qualified professional.

 Minor Defect



22.2.1 Garage Vehicle Door

DAMAGE TO GARAGE DOOR

I observed indications of damage to the garage door itself.

Recommendation

Contact a qualified garage door contractor.

 Minor Defect



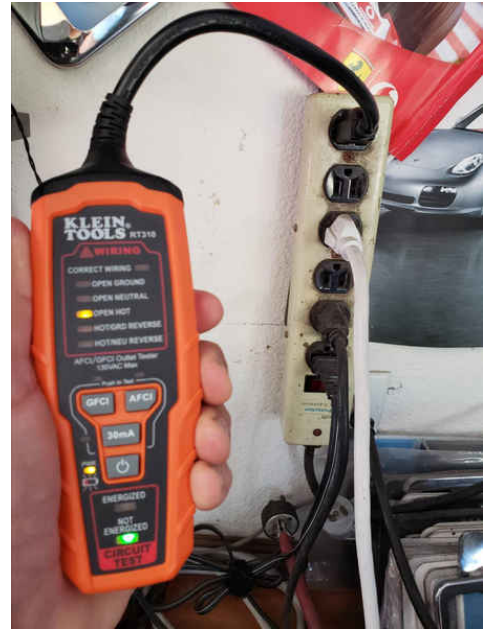
22.4.1 Electric in Garage

AFCI OPEN GROUND

Recommendation

Contact a qualified professional.

 Minor Defect



22.5.1 Ceiling, Walls & Firewalls in Garage

OPENING IN DRYWALL DEFECT

 Action Required

I observed an opening in the ceiling drywall or gypsum board of the garage.

There must not be any openings in the drywall of the garage. All openings must be patched and repaired properly.

There must be at least 1/2-inch thick gypsum board or equivalent applied to the garage side to separate the garage and the house or attic space.

There must be at least 5/8-inch thick Type X gypsum board or equivalent applied to the garage side to separate the garage from the habitable room above the garage.

Recommendation

Contact a qualified general contractor.



22.5.2 Ceiling, Walls & Firewalls in Garage

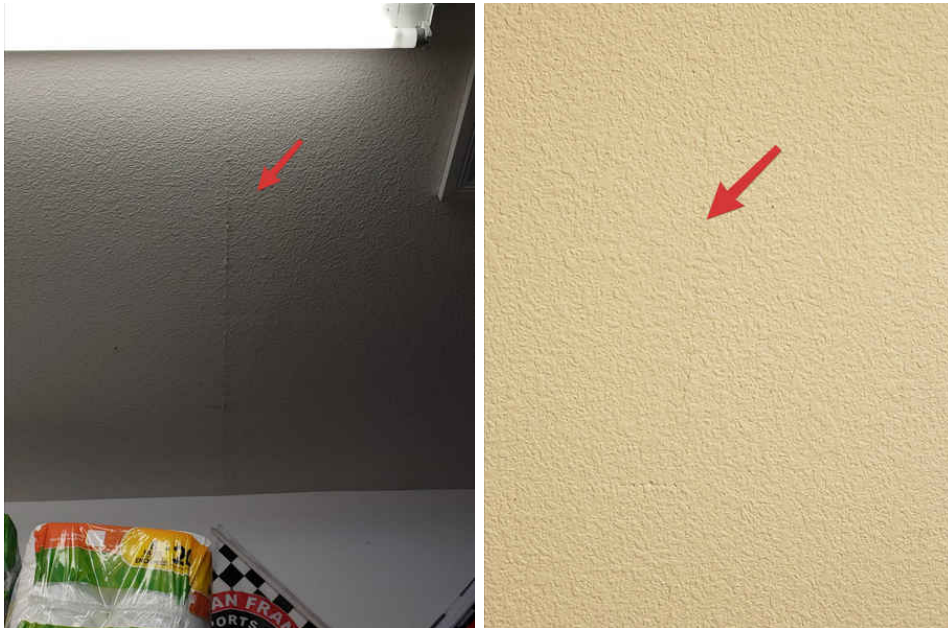
MINOR CRACK OBSERVED IN GARAGE CEILINGS

 Minor Defect

minor Cracked observed in Garage Ceiling, continue monitoring.

Recommendation

Contact a qualified professional.



22.5.3 Ceiling, Walls & Firewalls in Garage

CRACKED WALL ADJACENT TO THE GARAGE DOOR

 Minor Defect

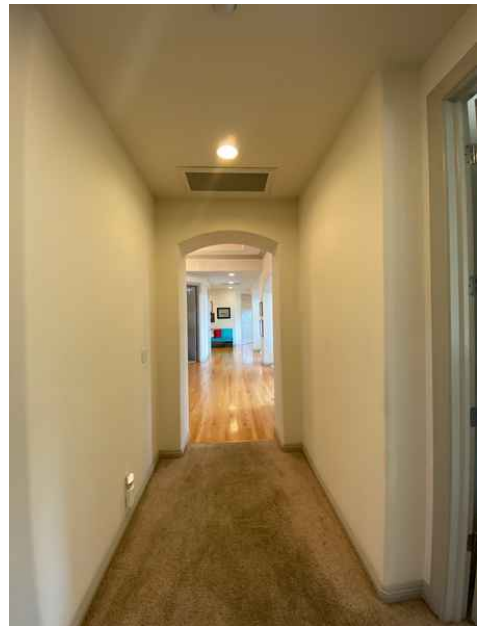
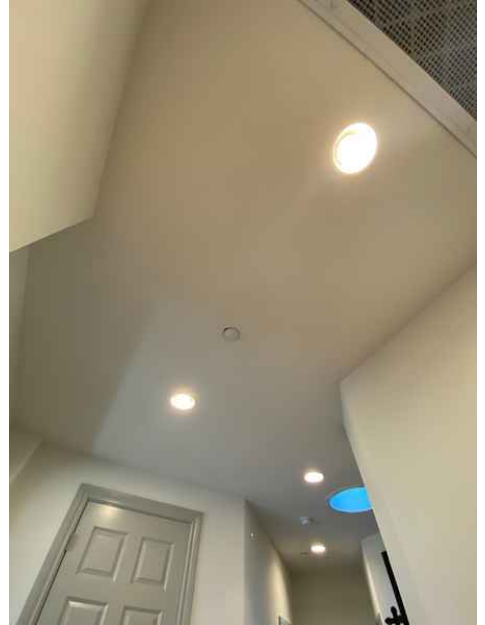
Recommend proper patching.

Recommendation

Contact a qualified professional.



Walls,floors,ceilling were inspected



STANDARDS OF PRACTICE

Inspection Detail

Please refer to the [Home Inspection Standards of Practice](#) while reading this inspection report. I performed the home inspection according to the standards and my clients wishes and expectations. Please refer to the inspection contract or agreement between the inspector and the inspector's client.

Roof

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the roof of the house.

Monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

I. The inspector shall inspect from ground level or the eaves:

1. the roof-covering materials;
2. the gutters;
3. the downspouts;
4. the vents, flashing, skylights, chimney, and other roof penetrations; and
5. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

1. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

1. observed indications of active roof leaks.

Exterior

Please refer to the [Home Inspection Standards of Practice](#) related to inspecting the exterior of the house.

I. The inspector shall inspect:

1. the exterior wall-covering materials;
2. the eaves, soffits and fascia;
3. a representative number of windows;
4. all exterior doors;
5. flashing and trim;
6. adjacent walkways and driveways;
7. stairs, steps, stoops, stairways and ramps;
8. porches, patios, decks, balconies and carports;
9. railings, guards and handrails; and
10. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

II. The inspector shall describe:

1. the type of exterior wall-covering materials.

III. The inspector shall report as in need of correction:

1. any improper spacing between intermediate balusters, spindles and rails.

Basement, Foundation, Crawlspace & Structure

I. The inspector shall inspect:

the foundation;
the basement;
the crawlspace; and
structural components.

II. The inspector shall describe:

the type of foundation; and
the location of the access to the under-floor space.

III. The inspector shall report as in need of correction:

observed indications of wood in contact with or near soil;
observed indications of active water penetration;
observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

Attic, Insulation & Ventilation

The inspector shall inspect:

insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and
mechanical exhaust systems in the kitchen, bathrooms and laundry area.

The inspector shall describe:

the type of insulation observed; and
the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

The inspector shall report as in need of correction:

the general absence of insulation or ventilation in unfinished spaces.

Heating

I. The inspector shall inspect:

1. the heating system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the heating system;
2. the energy source; and
3. the heating method.

III. The inspector shall report as in need of correction:

1. any heating system that did not operate; and
2. if the heating system was deemed inaccessible.

Cooling

I. The inspector shall inspect:

1. the cooling system, using normal operating controls.

II. The inspector shall describe:

1. the location of the thermostat for the cooling system; and
2. the cooling method.

III. The inspector shall report as in need of correction:

1. any cooling system that did not operate; and
2. if the cooling system was deemed inaccessible.

Plumbing**I. The inspector shall inspect:**

1. the main water supply shut-off valve;
2. the main fuel supply shut-off valve;
3. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
4. interior water supply, including all fixtures and faucets, by running the water;
5. all toilets for proper operation by flushing;
6. all sinks, tubs and showers for functional drainage;
7. the drain, waste and vent system; and
8. drainage sump pumps with accessible floats.

II. The inspector shall describe:

1. whether the water supply is public or private based upon observed evidence;
2. the location of the main water supply shut-off valve;
3. the location of the main fuel supply shut-off valve;
4. the location of any observed fuel-storage system; and
5. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

1. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
2. deficiencies in the installation of hot and cold water faucets;
3. active plumbing water leaks that were observed during the inspection; and
4. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

Electrical**I. The inspector shall inspect:**

1. the service drop;
2. the overhead service conductors and attachment point;
3. the service head, gooseneck and drip loops;
4. the service mast, service conduit and raceway;
5. the electric meter and base;
6. service-entrance conductors;
7. the main service disconnect;
8. panelboards and over-current protection devices (circuit breakers and fuses);
9. service grounding and bonding;
10. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
11. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
12. for the presence of smoke and carbon-monoxide detectors.

II. The inspector shall describe:

1. the main service disconnect's amperage rating, if labeled; and

2. the type of wiring observed.

III. The inspector shall report as in need of correction:

1. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
2. any unused circuit-breaker panel opening that was not filled;
3. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
4. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
5. the absence of smoke and/or carbon monoxide detectors.

Laundry

The inspector shall inspect:

mechanical exhaust systems in the kitchen, bathrooms and laundry area.

Kitchen

The kitchen appliances are not included in the scope of a home inspection according to the Standards of Practice.

The inspector will out of courtesy only check:

the stove,
oven,
microwave, and
garbage disposer.

Attached Garage

The inspector shall inspect:

garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector shall describe:

a garage vehicle door as manually-operated or installed with a garage door opener.